

DESIGN GUIDELINES for JACKSONVILLE, OREGON

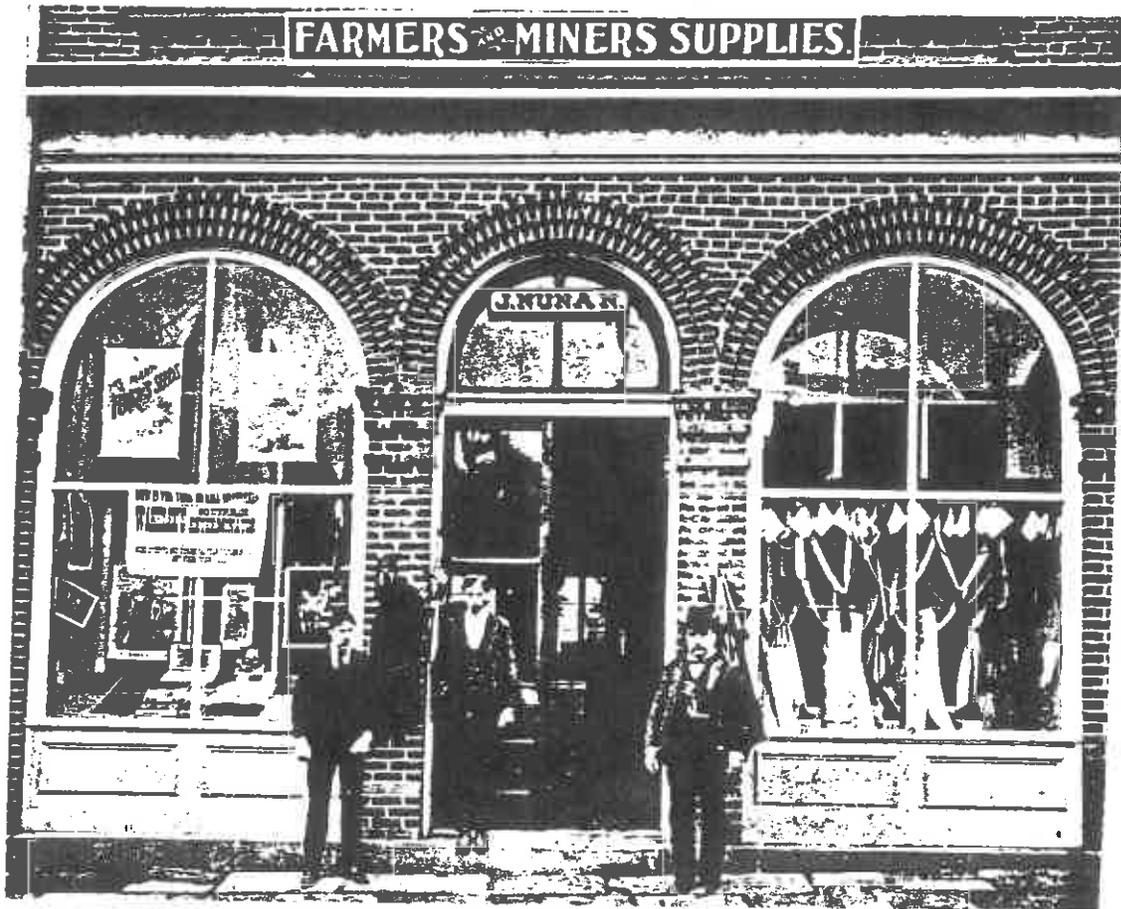


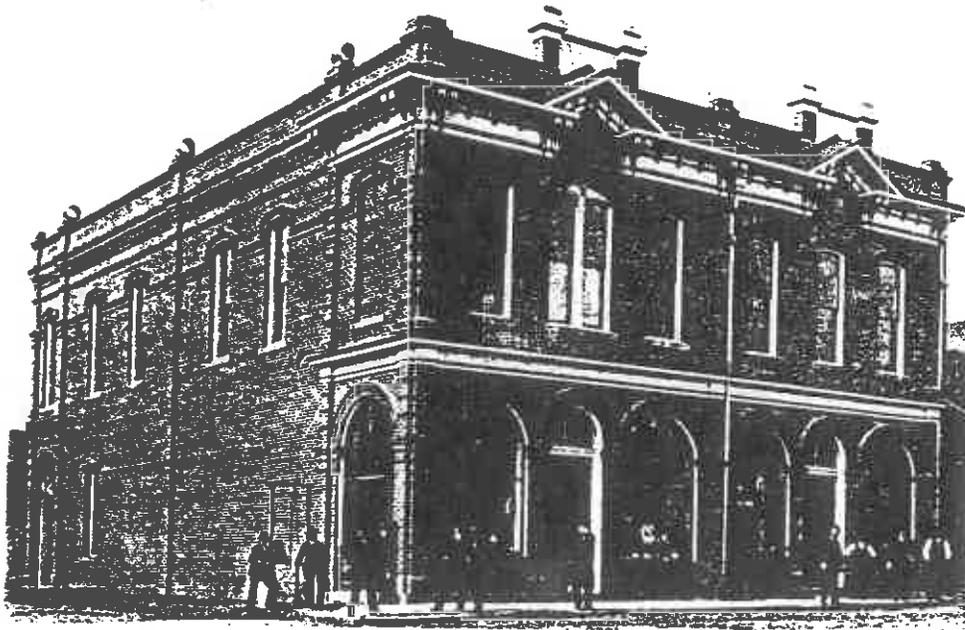
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I. INTRODUCTION

A. History Behind These Guidelines

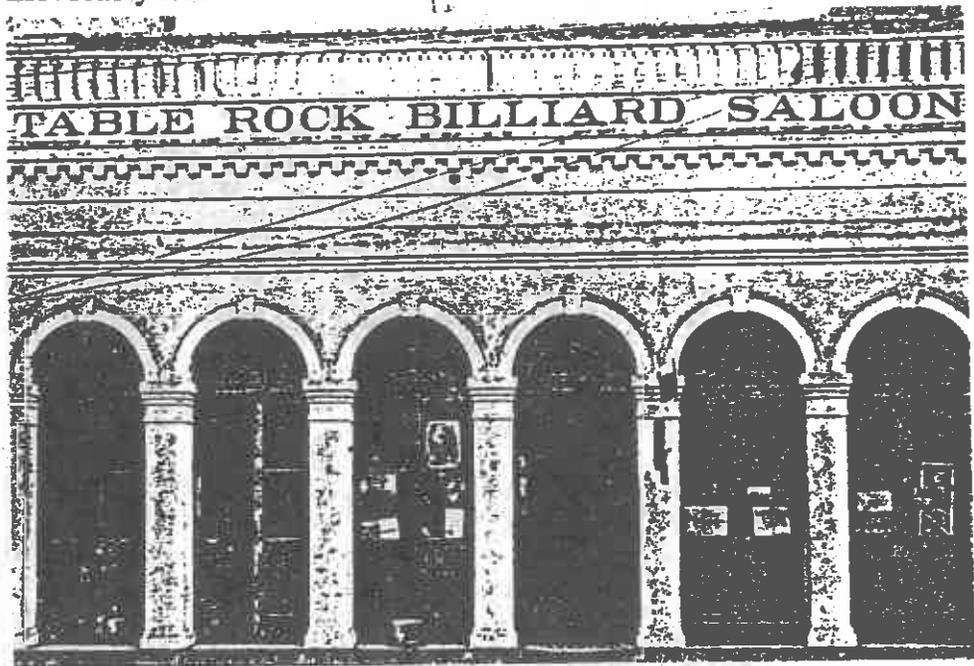
The following Design Guidelines are the result of a long term effort by the citizens of Jacksonville to help guide and maintain the unique historic character and architecture that makes Jacksonville so rare in the United States. This effort began many years before the city's National Historic Landmark designation in 1966 and continues today. The National Historic Landmark designation was given to the city because of its value to the nation as a nearly-intact, 1855 to 1885, northwest, mining and agricultural community that consists of a nearly unbroken collection of unaltered brick commercial buildings. In 1971 the boundaries for the National Historic Landmark District (NHLD) were delineated, and they included a large portion of the town's residential buildings as well as the commercial core of the town. The Jacksonville Historical Survey of the buildings in the NHLD was prepared by Allen McMath and Hawkins in April, 1980. These Design Guidelines were prepared in 1987 to guide alterations and additions to existing buildings and new construction within the city limits of Jacksonville. The Guidelines are for use in the two primary areas of the city: a) the National Historic Landmark District (NHLD) which consists of most of the downtown area of the city, and b) the remaining area of the city not included in the Landmark District.



(Photograph courtesy of the Southern Oregon Historical Society)

Jacksonville is unique in the United States for having one of the most intact and complete 19th century commercial and residential groupings of buildings still remaining in the country. Much of the charm and character of Jacksonville is embodied in its well preserved and little altered architecture, in the harmony and subtle differences between buildings, and in the intact commercial core area with its surrounding residential buildings. Yet, the desirable character of the area is threatened by new development and tourism resulting from the very quality of the city itself.

The impact of alterations or additions to existing buildings, and the impact of new construction in the NHLD and its surroundings, is the result of individual design decisions. Whether the result contributes to the special character that makes up Jacksonville and harmonizes with the spirit of the city, or detracts from this precious character can be directly traced to how individual design decisions are made. When property owners consider only their own gain and advantage, the result is often at odds with the historic environment and the image of the town. This diminishes the attractiveness and unity now existing in Jacksonville. These guidelines are set forth with the belief that the existing character and traditions found in Jacksonville are important and are very fragile. The traditions should be built upon with care and consideration as to what went before if that character is not to be irrevocably lost.



:(Photograph courtesy of the Southern Oregon Historical Society)

B. Using the Guidelines

These Guidelines begin with **Basic Guidelines** that apply throughout the City, for both new construction and for alterations and additions to existing buildings. These are followed by guidelines that apply to each of the three Design Areas identified: 1) the **Commercial Area**, 2) the **Residential Area** and 3) the **Area Outside of the NHLD**.

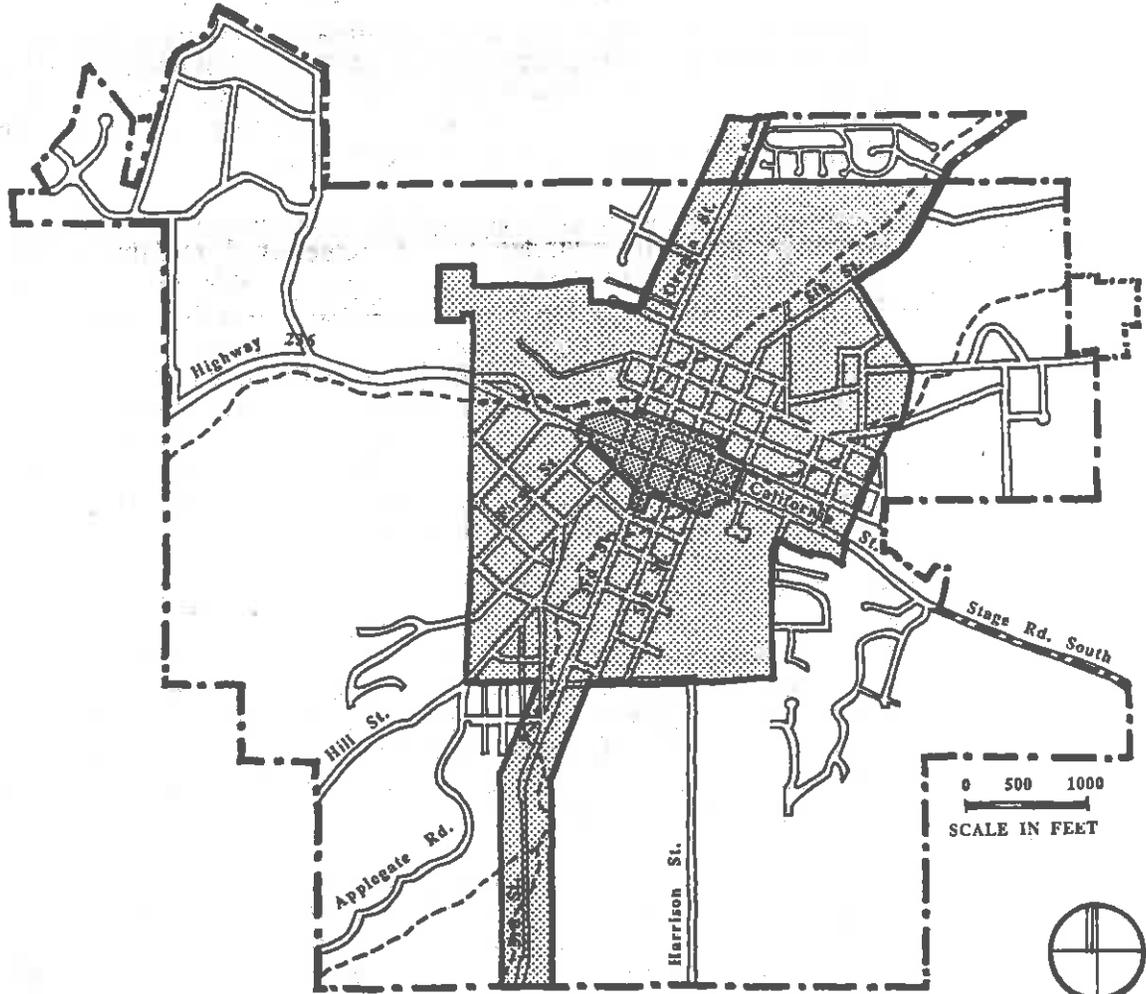
Each Design Area has general and individual guidelines which apply to buildings within its boundaries. The **General Guidelines** refer to overall design considerations including parking, landscaping, setbacks, etc. The General Guidelines are in turn followed by specific guidelines for the buildings in each Design Area, i.e. the Commercial Area includes **Individual Commercial Building Guidelines**, while the Residential Area contains **Individual Residential Building Guidelines**. These Individual Guidelines refer to specific types of buildings and the elements that give them their character including doors siding, porches, etc. Finally, each design area section contains **New Construction Guidelines** for use at properties without existing buildings.

Thus, a property owner, tenant, or merchant first should determine in which of the design areas their building is located by referring to Section II. ("Design Area Boundaries") and looking on Map 1. The Basic Guidelines of Section V. should be reviewed, as well as the General Guidelines under the design area heading. Once the building type that fits their building is known, (or the "New Building" type if new construction is proposed), the Individual Building Guidelines can be followed during the design and construction of their project.

The terms "Primary" and "Secondary" used in these guidelines refer to the categories of buildings used in the Jacksonville Historic Survey. Names used for buildings described in the Guidelines are generally the historic business name for the structure or are the original owners name, as given in the Survey.

Architectural terms used in the text are described in Appendix A "Glossary of Terms Used." A bibliography of additional material relating to the guidelines is included in Appendix B "Bibliography."

MAP 1: JACKSONVILLE DESIGN AREA BOUNDARIES



KEY TO MAP:

-  City Limits
-  Urban Growth Boundaries
-  National Historic Landmark District (NHLD) Boundaries
-  Creeks
-  Commercial Area
-  Residential Area
-  Area Outside the National Historic Landmark District

II. DESIGN AREA BOUNDARIES

For the purposes of these Design Guidelines, the National Historic Landmark District has been divided into two design areas, each of which have their own guidelines which apply throughout that Design Area. These areas are shown on Map 1. The Commercial Area includes those properties that have buildings which were designed as commercial buildings (houses which have recently been converted to commercial use, such as the Henry Breitbarth House at 180 North Oregon Street, are not included). Most of these buildings are centered along California Street or within a block of it.

The second area is the Residential Area which contains the rest of the District not included in the Commercial Area. Here the buildings were primarily constructed for residences and are still often used as such. The area also includes several churches and civic facilities. The styles and the construction of these buildings are similar to those of the residences and are included here. Exceptions are noted in the text.

The third area is the Area Outside the NHLD. Almost all properties in this area are residential, or residential in scale, and the Guidelines reflect this fact.

III. GOALS FOR CONSTRUCTION IN THE NATIONAL HISTORIC LANDMARK AREA

- A. To preserve the historic character of the District as a whole, including its similarity of design and materials, pedestrian scale, and harmonious pattern.
- B. To preserve the physical integrity of the commercial area and the surrounding residential area.

IV. GOALS FOR CONSTRUCTION OUTSIDE THE NATIONAL HISTORIC LANDMARK AREA BUT WITHIN THE CITY

- A. To guide alterations, additions, and new construction outside the NHLD so that they are compatible with the design, materials, pedestrian scale and harmonious pattern existing in the NHLD.
- B. To expand the character of the NHLD so that changes made outside the NHLD will bring this area closer in feeling and design to that found in the District.

V. BASIC GUIDELINES

A. Basic Guidelines in the National Historic Landmark District

All proposed alterations and additions to existing buildings and any new construction in the District shall comply with the following (as adapted from the Secretary of the Interior's Standards for Historic Preservation Projects):

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.
2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
4. Changes which may have taken place in the course of time are evidence of the history and development of a building, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.
9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.
10. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

B. Basic Guidelines for Use Throughout the City

All proposed alterations any additions to existing buildings, and any new construction throughout the city shall comply with the following:

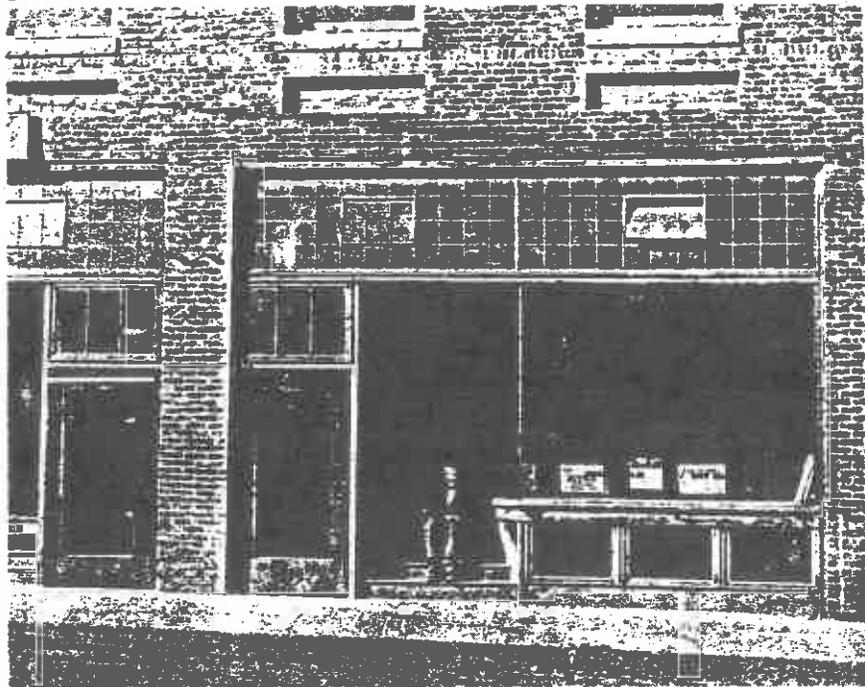
1. No mirror glass or heavily tinted glass shall be used on any building or structure.
2. No new aluminum window, door, or screen shall be installed unless it has an anodized finish of a dark color or is factory painted to conceal the bare aluminum color with a permanent finish.
3. Shutters shall not be installed on buildings or structures unless there is a specific historic reference to their use on the building or structure.
4. Materials used for finishes on buildings shall be authentic and not modern attempts at replicating historic and traditional materials such as: pressboard siding panels to replicate redwood siding or asbestos shingles designed to replicate wood shingles.
5. Mature landscaping shall be protected and maintained wherever possible.

VI. COMMERCIAL AREA GUIDELINES

A. General Guidelines

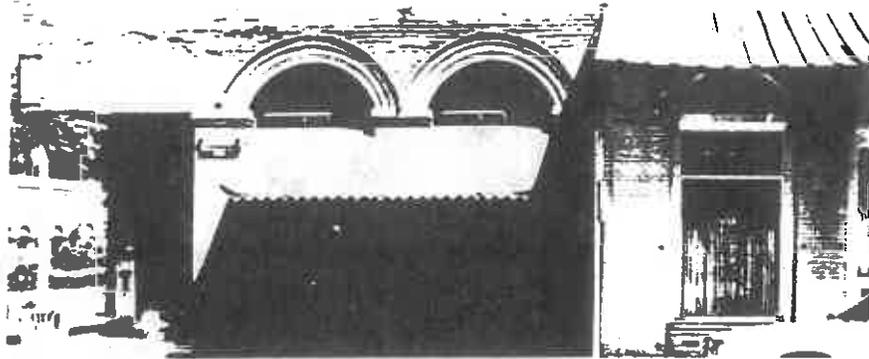
The following paragraphs describe general requirements that apply to all properties in the Commercial Area. These guidelines set the tone and feeling that contribute to the unique character of Jacksonville:

1. Return existing Primary and Secondary historic buildings back to their period of significance in the District. This period extended roughly from 1855 to 1885. Historic photographs shall be used for guidance.

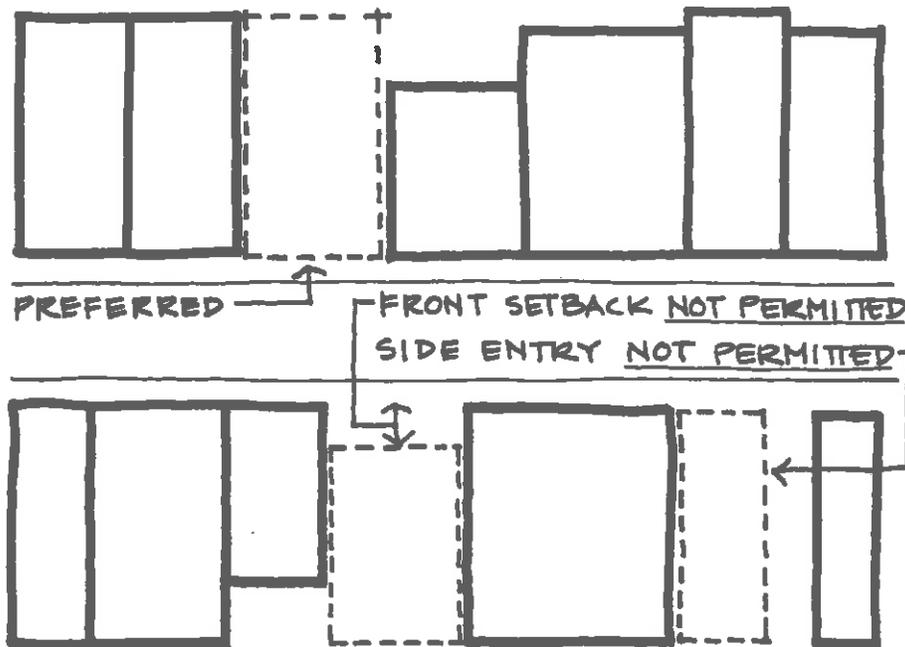


(Photograph courtesy of the Southern Oregon Historical Society)

2. Replace missing building elements that may have been damaged or removed over the years. Use photographic evidence to determine what elements existed that may have been removed or altered. Where no photographic evidence exists use examples from similar buildings and physical evidence that may remain on the building such as scar traces that remain where wood cornice brackets were removed.



3. Do not make any new curb cuts into Oregon or California Streets.
4. Buildings or structures shall be built up to the front and side property lines. There shall be no front or side property line setbacks. A side yard property line setback shall be required where there has historically been a side yard adjacent to a building.
5. The main entry into buildings or structures shall be from the main street frontage.



6. Every effort shall be made to preserve historic signs that still remain in the areas. Examples include signs on the Wade, Morgan & Co.

Building at 120 East California Street and the Haines Brothers' Store at 110 South Oregon Street.

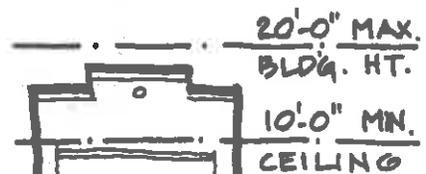
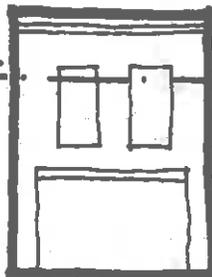


7. Building Heights:

- a. All new buildings shall be less than 35 feet in height measured from the sidewalk at the front property line to the highest portion of the roof or cornice, whichever is higher.
- b. New one story buildings shall be less than 20 feet in height and have a ground level ceiling height of not less than 10 feet in height measured from the floor to the ceiling.
- c. New two story buildings shall have a minimum height of 20 feet.

$\frac{35'-0'' \text{ MAX.}}{\text{BLDG. HT.}}$

$\frac{20'-0'' \text{ MIN.}}{\text{BLDG. HT.}}$

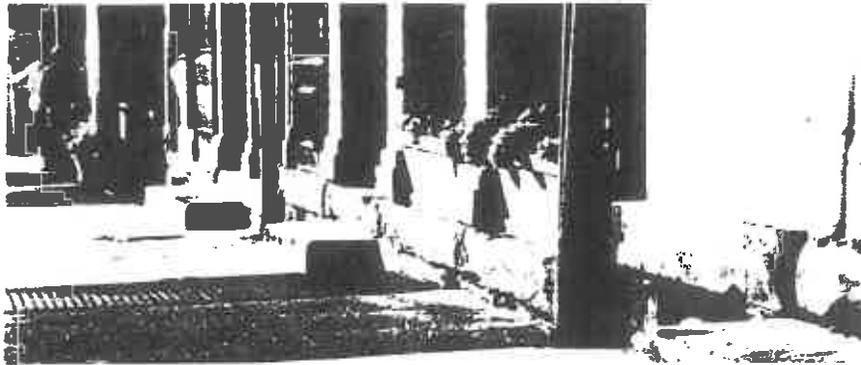


8. Appropriate exterior building materials for the area include:

- a. New red brick (bare or painted, color ranging from dark red brown to yellow).
- b. Vertical board and batten siding for rear and side additions.
- c. Horizontal wood siding, "v" rustic, drop or clapboard wood siding.

9. Inappropriate exterior materials that shall not be used in the area include:
 - a. wood shingles, (on walls).
 - b. diagonal wood siding.
 - c. stucco.
 - d. glazed tile.
 - e. unpainted wood on storefronts.
 - f. "used" or "contractor" brick designed to look "olde."

10. Miscellaneous items that should be maintained, and if not existing, could be used to contribute to the character of the district include: benches, landscaping, planter boxes, exterior lighting, grates and metal sidewalk doors to basements. See below for specific recommendations for these items.



B. Individual Guidelines

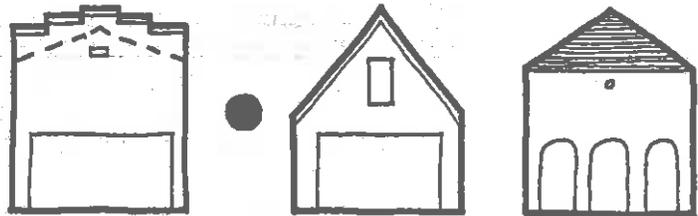
The following section describes individual building elements (such as cornice, facade, etc.) and how these elements contribute character to the buildings in the Commercial Area (for example, flat parapet walls and brick facades). The treatment of these elements shall be used when altering the element described; when adding onto buildings in the Commercial Area or when constructing new buildings in the Commercial Area. Each description of how to treat building elements is then followed by an example of what not to do, indicated "Not Permitted."

For example, under "Parapet" is found a description of how parapets are treated in the Commercial Area. Parapets extend one to two feet above a building's roof and are found not only on the front facade but along side and rear walls as well. The building's flat or pitched roof is hidden from the street behind the parapet wall. Thus, when altering an existing parapet, it should not be removed or greatly increased in height. When constructing

a new building in the Commercial Area the new building should be designed with a parapet one to two feet in height.

Roof Form:

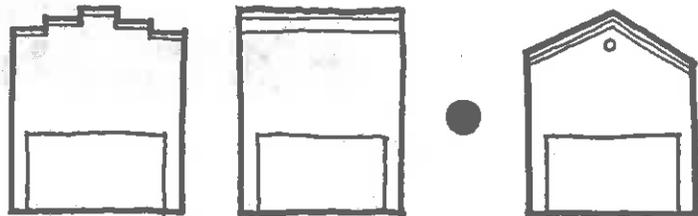
Flat or gently pitched, of built-up roofing, typically pitched from a ridge at the building center line running from the front to the rear of the building. The pitch extends from the ridge to each side of the build then along the sides to the front or rear facade.



Not Permitted: Gable roofs or hip roofs exposed from the street, or steeply pitched roofs.

Parapet:

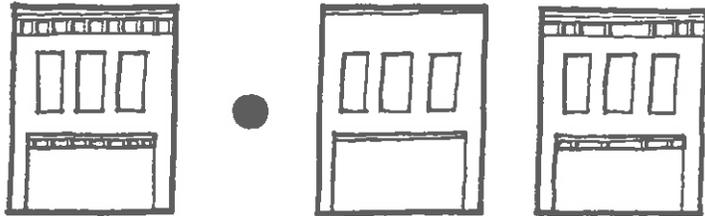
Stepped or flat front, one to two feet above the roof. Side and rear parapet walls as well as front.



Not Permitted: Lack of a parapet wall or a parapet with a gable end rather than one stepping up to the center of the front facade.

Cornice:

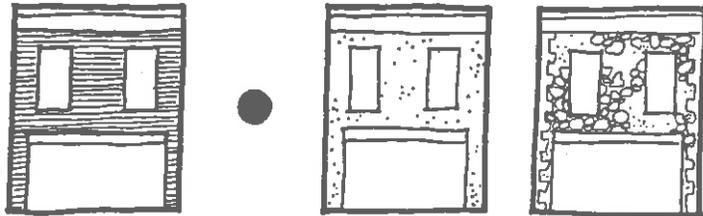
Horizontal with broad fascia boards, with uniformly spaced brackets below extending from a plain brick facade or simply detailed fascia boards.



Not Permitted: Small, thin cornice with no brackets, or irregularly spaced brackets.

Facade:

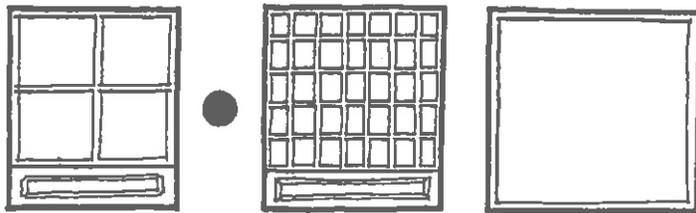
Typically of unpainted brick or wood siding painted, such as channel, drop or "v" rustic siding.



Not Permitted: Materials such a stucco, diagonal wood siding or "false" materials such as "permastone," glue on brick or vinyl siding.

Display Windows:

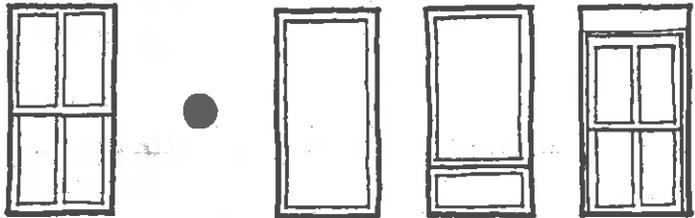
Large sheets of glass or panes divided with mullions and muntins into lights no smaller than 12 inches square nor larger than six feet by eight feet. (This is the smallest and largest sizes commonly found during the 1855-1885 period.) Materials to be wood, steel, or anodized aluminum with a dark finish such as bronze or dark gray.



Not Permitted: Windows larger or smaller than above. Sliding windows, bare aluminum or unpainted steel windows.

Upper Floor
Windows:

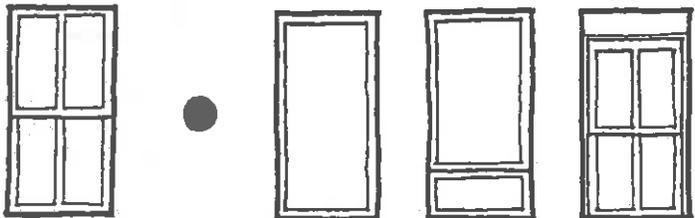
Double hung with one over one or two over two sash. Materials to be wood, steel or anodized aluminum with a dark finish such as bronze or gray. Window trim to be painted.



Not Permitted: Casement, siding or awning windows. Bare aluminum or unpainted steel windows.

Side and Rear
Windows:

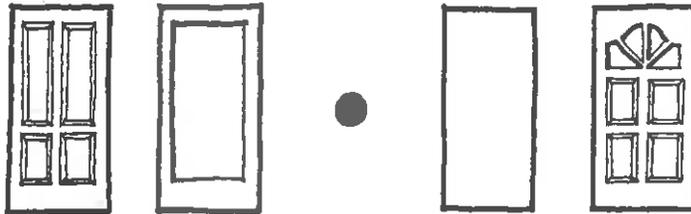
These shall be the same as described above. Materials shall be of painted wood or steel, or of anodized aluminum with a dark finish such as bronze or gray.



Not Permitted: Casement or siding windows. Bare aluminum or unpainted steel windows.

First Floor Doors:

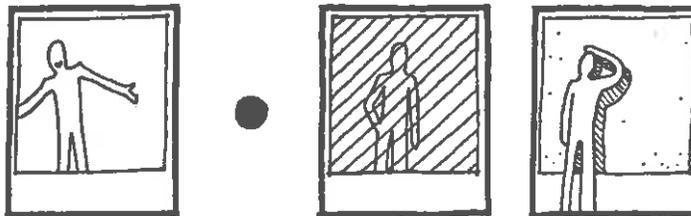
Panel doors of the 1855-1885 period such as single, four, or six panel doors. Door may have glazing in the door if stiles are no less than four inches wide and rails no less than eleven inches wide. Materials to be wood, steel or anodized aluminum with a dark finish such as bronze or gray.



Not Permitted: Bare aluminum doors, sliding doors, flush (flat) doors, doors that create an earlier period in time such as "X-Cross" panel doors or "Colonial" five panel doors.

Glazing:

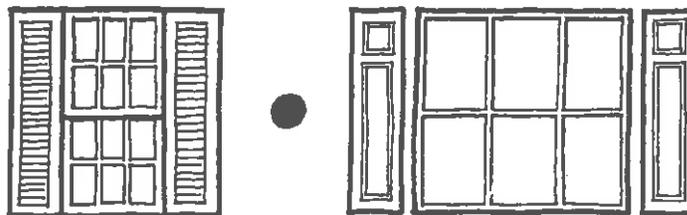
Clear glass.



Not Permitted: Mirror or heavily tinted glass or films applied to glass and glass block.

Shutters:

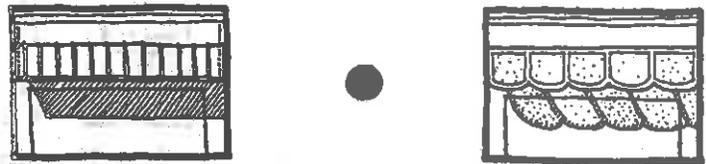
Metal fire shutters on the ground level. Louver shutters found on the upper levels. Shutters must match opening size.



Not Permitted: Wood louver shutters used on the ground level. Plastic or one piece unit shutters.

Canopies:

Galvanized metal canopies suspended from the facade of the building by rods or chains.

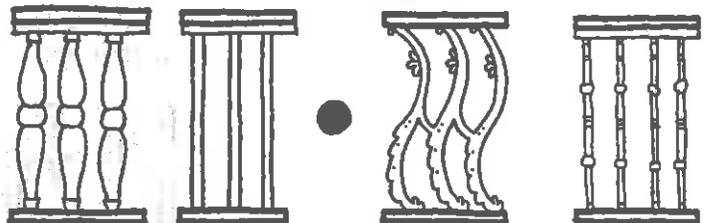


Not Permitted: Translucent or opaque plastic panels in canopies.

Balconies and Exterior Stairs:

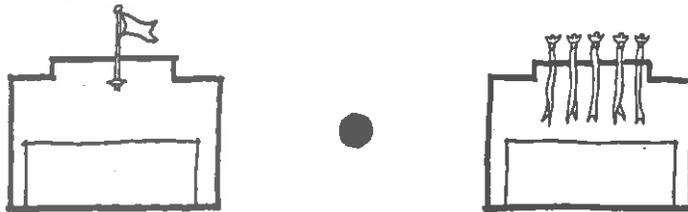
Front Facade: Wood balconies above the sidewalk with wood top and bottom railings and turned balusters. The profile of the balusters is important to the character of the balcony as a whole; modern turned balusters are commonly much too thin for their height.

Side and Rear Facades: Wood balconies with simple top and bottom railings and simple balusters uniformly spaced along the railing. Exterior stairs to have simple open risers and wood treads. Stair railings similar to balcony railings.



Not Permitted: Metal balcony railings, and/or stairs; railings that use thin modern balusters, or overly ornate side and rear railings.

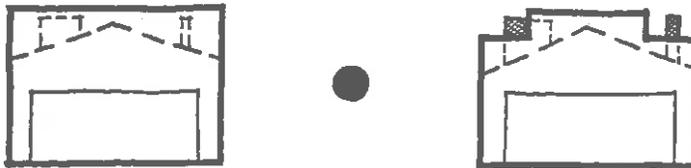
Finials and Flagpoles: Painted wood or metal finials and wood flagpoles mounted on the front parapet in the center of the front parapet.



Not Permitted: Bare aluminum or other unpainted metal flagpoles. Flagpoles extending more than 15 feet above the top of the parapet. More than three flagpoles per building.

Roof Mounted Mechanical Equipment:

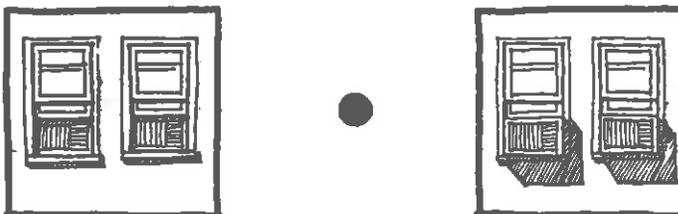
Equipment mounted so that it is not visible from the ground at the front, sides or rear of the building, or equipment that is screened from view by solid or louvered panels.



Not Permitted: Equipment exposed to view from the ground level.

Window Air Conditioning Units:

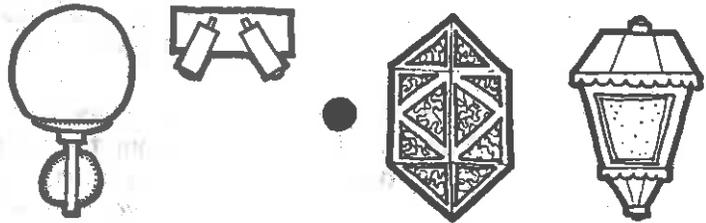
Air conditioners mounted in windows such that the units are located inside the building and that the intake screens do not extend beyond the exterior face of the building. Units mounted above ground floor doors in the transom area when the unit is screened from view in the street by an awning, louvered screening panels, or by a canopy.



Not Permitted: Window units mounted outside the window or units mounted above doors that are exposed to view from the street.

Exterior Light Fixtures:

Simple rectangular or cylindrical fixtures of the 1855-1885 period, either original or reproduction. Modern fixtures that are simple in appearance, cylinders or globes that do not draw attention to the fact that they are modern or are an attempt to create an earlier appearance.



Not Permitted: "Antique" fixtures that try to create an appearance of an earlier or later time period than that of the 1855-1885 period of significance for the NHLD. This includes "Colonial" or "Federal" fixtures and modern fixtures that are clearly modern and draw attention to their design such as "amber-crackle-finish" globe fixtures and "sparkle" lights, or lights that twinkle, rotate, or flash on and off.

Awnings:

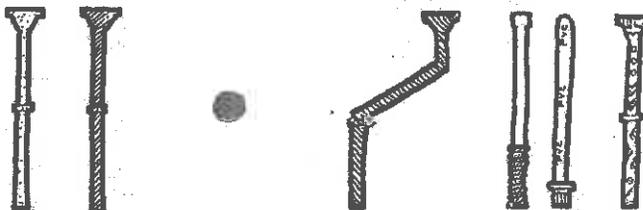
Canvas or acrylic awnings that have a cloth-like finish or are of other natural materials such as muslin. Form shall be traditional extension awning, rigid or collapsible, with plain valance and side panels. Awnings may be of uniform color or traditional striped. Pitch of awning shall be no steeper than 45° from horizontal.



Not Permitted: Metal awnings or shiny plastic awnings such as vinyl. Barrel or square extension awnings; internally illuminated awnings. Awnings with more than three colors of stripes of three different widths. Awnings steeper than 45° from horizontal.

Downspouts:

Natural copper with no paint, or painted galvanized metal.



Not Permitted: Plastic ("pvc") pipe, exposed pipe, or galvanized pipe painted intense colors (see below).

Paint Colors:

Any colors on the approved City list for colors in the NHLD may be used on all buildings.

Facade: Brick facades of red brick color (the red color varies from a plum-red to a red-yellow; no yellow or dark brown brick exists from the historic period). Wood siding typically painted white, cream or a light warm color of low intensity. Wood may be left to weather naturally or be painted.

Trim: True green, dark green, green-black, grey, brown or grey-blue. Wood may be left to weather naturally or painted.



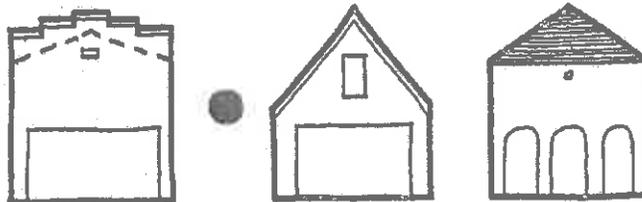
Not Permitted: Facade and Trim: Bright fluorescent or intense colors, dark, heavily pigmented or metallic colors, removal of paint by sandblasting or other harsh means.

C. New Commercial Construction:

The following section describes individual building elements (such as cornice, window, etc.) and how these elements should be treated when constructing new buildings inside the National Historic Landmark District so that new buildings will reinforce, and be complimentary to the buildings within the District. The treatment of these elements shall be used when constructing any new commercial building in Jacksonville. For example, under "Parapet" is found a description of how parapets should be treated. Parapets should extend one to two feet above the building's roof and are found not only on the front facade, but could be built along side and rear walls as well. The building should have a flat or pitched roof which is hidden from the street behind the parapet wall. Each description of how to treat building elements is followed by an example of what not to do, indicated "Not Permitted."

Roof Form:

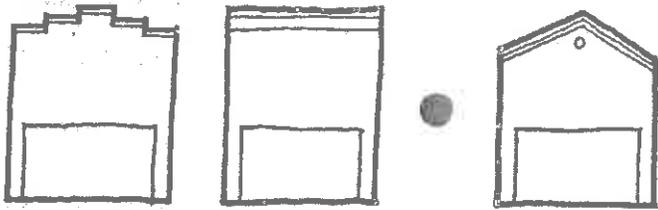
Flat or gently pitched, of built-up roofing or wood shingles.



Not Permitted: Steeply pitched gable or hip roofs exposed from the street.

Parapet:

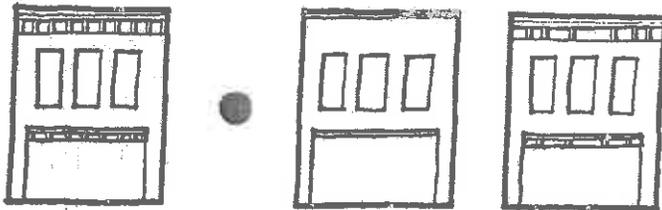
Stepped or flat front, one to two feet above the roof. Side and rear parapet walls are permitted as well.



Not Permitted: Missing front parapet wall, or a parapet with a gable end rather than one stepping up to the center of the front facade.

Cornice:

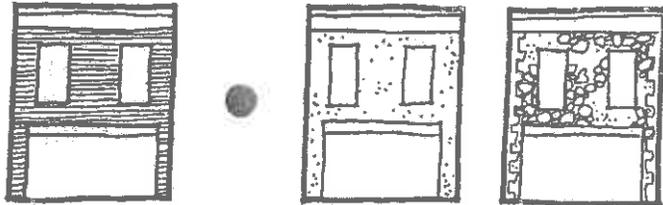
Horizontal cornice of broad fascia boards, with or without uniformly spaced brackets below. Brackets may extend from a plain brick facade or from a simply detailed fascia board.



Not Permitted: Small thin cornice with no brackets, irregularly spaced brackets, or very small brackets.

Facade:

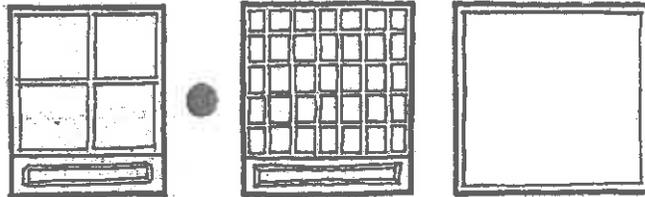
Unpainted brick or painted wood siding (channel "V", rustic, or drop).



Not Permitted: Materials such as stucco, diagonal wood siding, or "false" materials such as "permastone," glue-on brick, or vinyl siding.

Display Windows:

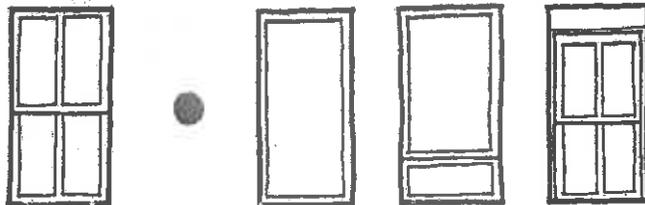
Large sheets of glass or large area divided with mullions and muntins into lights not smaller than twelve inches square. Materials shall be wood, steel or anodized aluminum with a dark finish such as bronze or dark gray.



Not Permitted: Windows smaller than indicated above, bare aluminum or unpainted steel windows.

Upper Floor Windows:

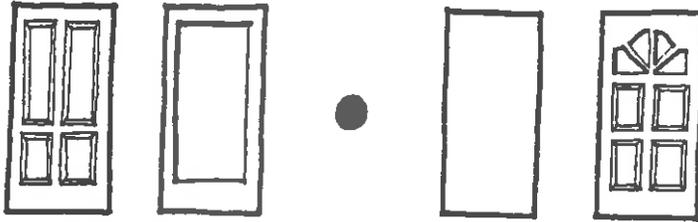
Double hung with one over one or two over two sash, or sliding or casement type windows. Materials shall be painted wood or steel, or anodized aluminum with a dark finish such as bronze or gray.



Not Permitted. Bare aluminum or unpainted steel windows.

First Floor Doors:

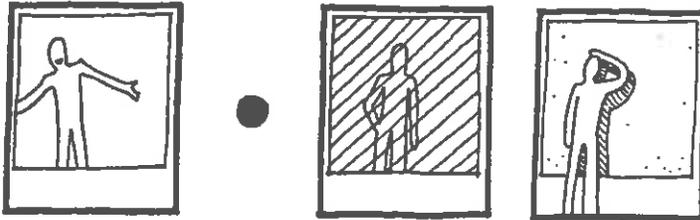
Panel doors with one to six panels on the front facade. Door may have glazing in the door if stiles are no less than four inches wide and rails no less than eleven inches wide. Side and rear doors may be sliding type. Materials shall be wood, steel or anodized aluminum with a dark finish such as bronze or gray.



Not Permitted: Bare aluminum doors; sliding doors on the front facade; doors that attempt to create an earlier period in time, such as "X-cross panel doors," "Colonial," five panel doors, or flush "flat" doors.

Glazing:

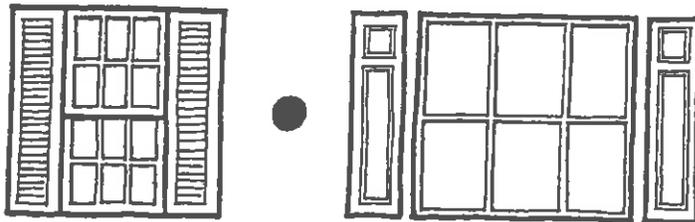
Clear glass.



Not Permitted: Mirror or heavily tinted glass, films applied to glass, or glass block.

Shutters:

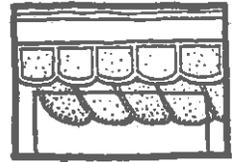
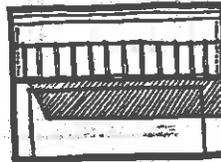
Louver shutters may on upper levels.



Not Permitted: Wood louver shutters on the ground level; plastic, or one-piece unit shutters on any level.

Canopies:

Galvanized metal canopies suspended from the facade of the building by rods or chains.

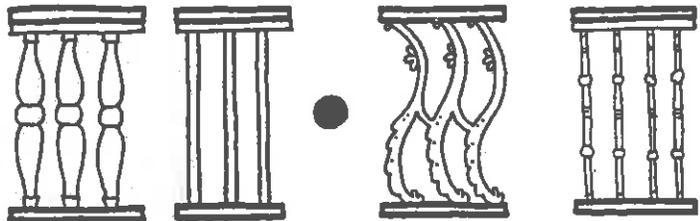


Not Permitted: Translucent or opaque plastic panels in canopies.

Balconies and Exterior Stairs:

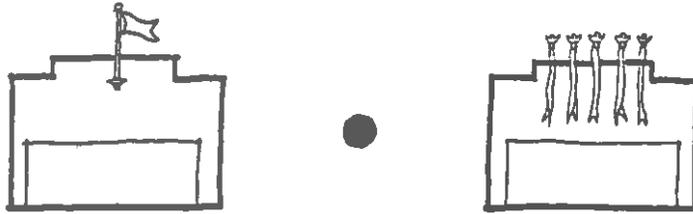
Front Facade: Wood balconies above the sidewalk with wood top and bottom railings and turned balusters. The profile of the balusters is important to the character of the balcony as a whole; modern turned balusters are commonly too thin for their height.

Side and Rear Balconies and Exterior Stairs: Wood or painted metal construction with simple top and bottom railings and simple rectangular balusters uniformly spaced along the railing. Exterior stairs to have simple open risers and wood treads. Stair railings similar to balcony railings.



Not Permitted: Railings that use thin modern balusters, or overly ornate side and rear railings.

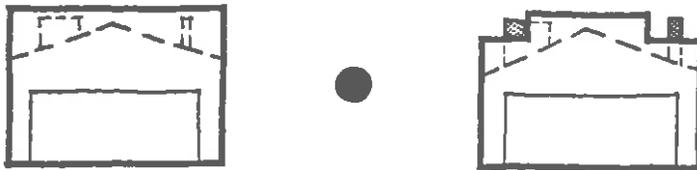
Finials and Flagpoles: Wood or metal finials and wood flagpoles mounted on the front parapet in the center of the front parapet. Finials and flagpoles shall be painted.



Not Permitted: Bare aluminum or other unpainted metal flagpoles; flagpoles extending more than 15 feet above the top of the parapet, or more than three flagpoles per building.

Roof Mounted Mechanical Equipment:

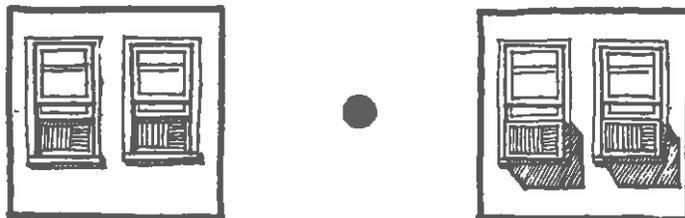
Equipment should be mounted so that it is not visible from the ground at the front, sides or rear of the building. Equipment that is screened from view by solid or louvered panels.



Not Permitted: Equipment exposed to view from the ground level.

Air Conditioning Units:

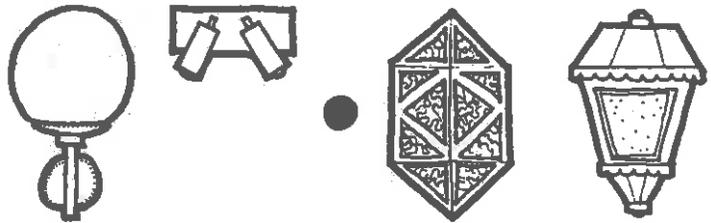
Mounted on windows so that the unit is located inside the building and the intake screen does not extend beyond the exterior face of the building. Mounted above ground floor doors in the transom area and the unit is screened from view from the street by an awning, louvered screening panels, or canopy.



Not Permitted: Window units mounted outside the window, or units mounted above doors that are exposed to view from the street.

Exterior Light Fixtures:

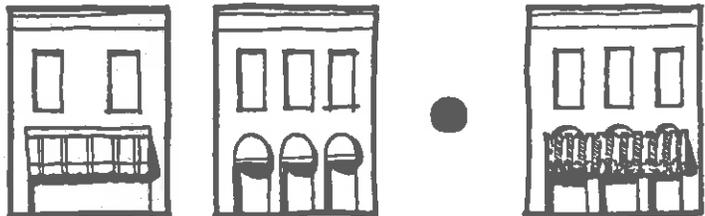
Simple rectangular or cylindrical fixtures of the 1855-1885 period, either originals or reproductions. Modern fixtures that are simple in appearance, cylinders or globes that do not draw attention to the fact that they are modern or an attempt to create an earlier period appearance.



Not Permitted: "Antique" fixtures that attempt to create an appearance of an earlier or later time period than the 1855-1885 period of significance for the NHLD; including "Colonial" or "Federal" fixtures, or modern fixtures that draw attention to their design, such as "amber-crackle," "sparkle," or "twinkle," rotating or flashing lights.

Awnings:

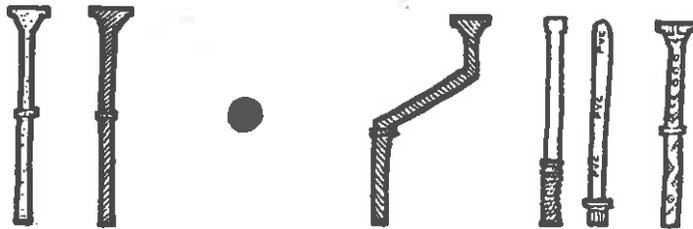
Canvas or acrylic awnings that have a cloth-like finish or are of other natural materials such as muslin. Form shall be traditional extension awning, rigid or collapsible, with plain valance and side panels. Awnings may be of uniform color or traditional striped. Pitch of awning shall be no steeper than 45° from horizontal.



Not Permitted: Metal awnings, or shiny plastic awnings such as vinyl; barrel or square extension awnings; internally illuminated awnings, or awnings with more than three stripe colors, or with three different width stripes.

Downspouts:

Natural copper with no paint, or painted galvanized metal.



Not Permitted: Plastic ("pvc") pipe, exposed pipe, or galvanized pipe painted with intense colors (see below).

Paint Colors:

Any colors on the approved City list for colors in the NHLD may be used on all buildings.

Facade: Brick facades should be of unpainted red brick varying from yellow-red to plum-red. Wood siding is to be painted with a light color such as white, cream or other light warm color of low intensity. Wood may also be left to weather naturally.

Trim: True green, dark green, green-black, gray, brown, or gray-blue. Wood may also be left to weather naturally.



Not Permitted: Bright, fluorescent, or intense colors, dark heavily pigmented, or metallic colors.

VII. RESIDENTIAL AREA GUIDELINES

A. General Guidelines

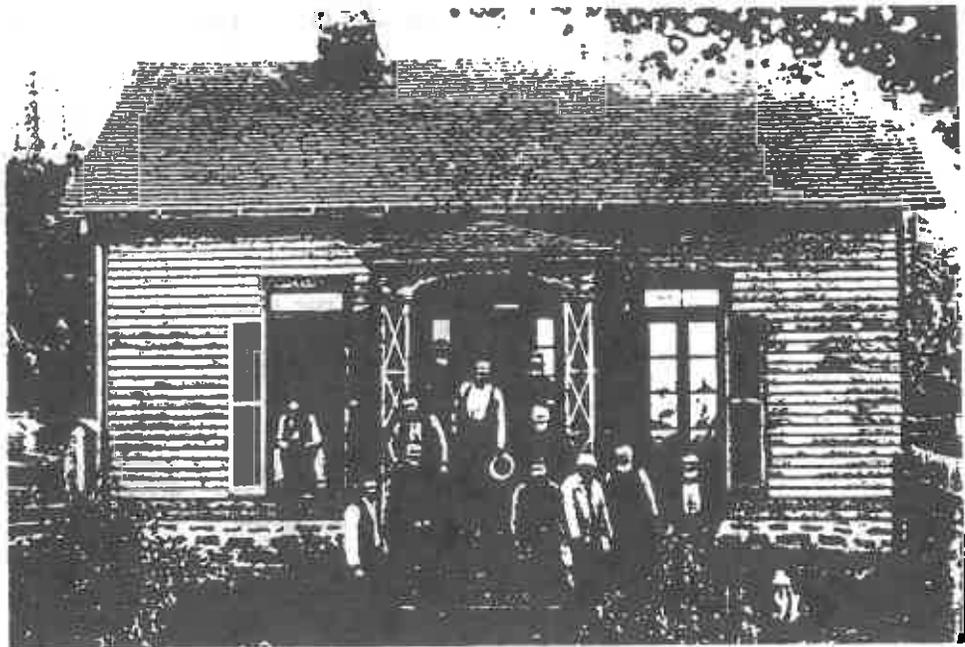
The character and design of the residential area is very different from the Commercial Area and the Design Guidelines reflect this difference. The buildings are of smaller scale, generally between one and one-and-one-half stories high. They generally have pitched roofs and are set back both from the street and from each other. The landscaping is much more lush, and tall mature trees are common. The following paragraphs describe the requirements that apply to all buildings in the Residential Area. They should be used when altering an existing building, adding to an existing building, or when constructing a new building in the Residential Area.

Setbacks

Residential buildings shall be set back from the street property line a minimum of 15 feet and have side yards no less than 4 feet. Rear yards shall be not less than 12 feet whenever possible.

Landscaping

Preserve and maintain all mature landscaping. Do not remove unless diseased or present a life safety hazard.



(Photograph Courtesy of the Southern Oregon Historical Society)

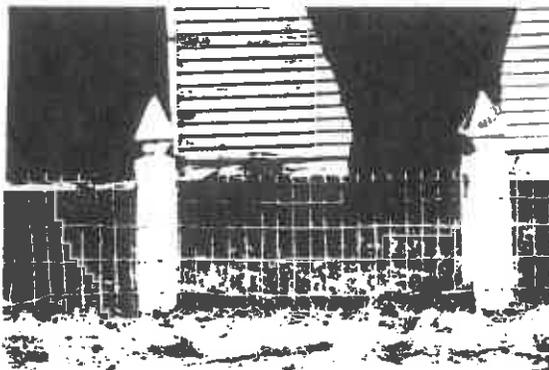
**Materials for
Buildings & Other
Structures**

The residential buildings in the NHLD should be brick construction or have wood siding that is painted or left to weather naturally. Roofs shall have wood or asphalt shingles, although corrugated metal roofing is also appropriate. Inappropriate materials include diagonal wood siding, stucco, glazed tile, mirror glass or heavily tinted glass, shiny metal finishes, and used or "contractor's" bricks.

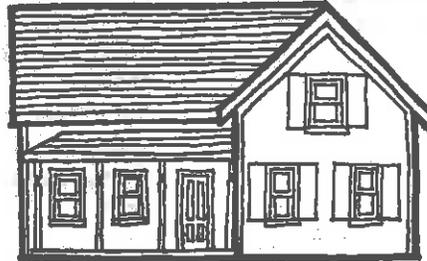
B. Individual Residential Building Guidelines

The following section describes individual building elements, (such as cornice, windows, etc.) and how these elements contribute to character of buildings in the Residential Area, (for example, gable roof with broad flat bargeboards, and clapboard siding). Residential buildings are described by their style which is a way of describing the design features that are treated the same way in a group of buildings. The Style is first described, and then the way individual building elements are handled in the style is described.

Thus, a building owner should first determine what the style of his building is (if is a new building, use section C of these Guidelines.) After locating the building style, use the detailed descriptions given to determine how to treat the building elements described. This should be done when altering them, adding to an existing building, or when constructing a new building that has these elements. For example, if a building is a Craftsman Bungalow (see number 7 below), the roof should have a low pitched gable roof with broad overhanging eaves (see "Roof Form"). When contemplating adding a dormer window to this house, the owner should design it so that it has a low pitched roof with broad overhangs and does not have a flat or steeply pitched roof.



1. Vernacular Style (Three variations are Rectangular, "L" Plan and "T" Plan)



Description of the Style

The vernacular style is typified by simple rectangular building forms that frequently intersect forming an "L" or "T" with central ridges and gable roofs. The facades are sheathed with wood siding and have little ornamentation. The simple geometry and intersecting roof forms create a very powerful style. c 1855-1890.

Examples in the District:

Rectangular Plan: 415 East C Street, 425 South 3rd Street
"L" Plan: 240 North 3rd Street (Kennedy House), 640 East California Street
"T" Plan: 515 East G Street, 455 Huener Lane

Roof Form:

Simple gable with ridge running the length of the build, or one or two intersecting gables depending on whether or not the building is "T" or "L" plan, frequently found with dormer windows. Roof is frequently covered with wood or asphalt shingles.

Cornice:

Simple flat board at eaves and at gable ends.

Facade:

Horizontal siding either V rustic, drop, or clapboard.

Windows:

Double hung sash with one over one, two over two and four over four sash found frequently intermixed on the same building, although the same type of fenestration is generally found on the same floor and facade of the building.

Shutters:

Louvers wood to each side of the window, or none.

- Doors:** Four or six panel wood doors.
- Exterior Ornamentation:** Little or no exterior decoration.
- Exterior Colors:** Primarily white or pale cream with dark green shutters where they exist.
- Landscaping:** Small bushes are found close to the base of the building with trees planted some distance away.
- Porches:** Porches are found on the inside of the "L" plans running the length of the long form and on both sides of the long form in "T" plan buildings. The porches are only one or two steps up from the ground and covered with a shed, low pitched roof that may turn to meet the intersecting "L" or "T" form.
- Rears of Buildings:** Rears of buildings are treated very simply continuing the siding and window patterns found on the rest of the building.
- Additions:** Additions are found on the side and rears of the houses, covered in the same siding material and with low pitched shed roofs attached to the main building below the eave of the main building.
- Other:** A very common and striking style that has many variations. Buildings of this style were continually added on to and these changes over time are clearly evident in the additions that seem to grow out of the original building.

2. Queen Anne Style



Description of the Style

A varied and rich decorative style noted for asymmetrical compositions of many forms; textures, materials and colors. Buildings frequently have turrets, towers, tall chimneys, projecting balconies and bays. c. 1880-1900.

Examples in the District:

310 North 6th Street and 635 North Oregon Street (Nunan House).

Roof Form:

Towers with conical roofs, multi-planed steeply pitched gable roofs. Eyebrow dormers frequently found on roofs. Tall finials and cresting often sets off roof.

Cornice:

Heavy fascia boards at gable ends, many belt courses or trim boards that often form cornices.

Facade:

Richly varied with horizontal siding on one area and fish scale shingles on another, frequently horizontal belt courses between floor levels separate different materials and textures. Many round or octagonal bays projecting from the main building mass.

Windows:

Predominantly double hung; upper sash frequently has a border of small square lights of "flash" or stained glass. Transom windows have stained glass. Some casement windows. Some Palladian windows.

Shutters:

None.

Doors:

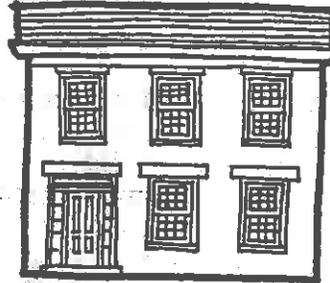
Entry doors often double with large beveled lights and decorative panels below. Other doors five or six panel.

- Exterior Ornamentation:** Rich and varied from carved wood panels to finials, pedants and cresting. Turned posts supporting lavish cornices hung with swags and cast floral decoration. Very rich ornamentation used throughout.
- Exterior Colors:** Rich and varied. Often subtle variations between shades of one color are used to highlight the building's architectural elements. Frequently a highly decorated building would be painted with only one or two colors. This allowed the play of sunlight and shadow on the elaborate decoration to provide the variation on the facade of the building instead of using many different colors. Colors were primarily mixed with small amounts of grey or had small quantities of one color mixed in with another. For example, a sienna brown might have some of the red trim color mixed in to create a warm brown leaning towards red, and the red trim might have a small amount of sienna brown added to it to muddy it. This was then done to all of the exterior colors.
- Landscaping:** Victorians appreciated the beauty of exotic plants and distributed them generously in their gardens. Palm trees were found near laurels and oak trees. There were formal designs for garden layouts and flowering beds that were changed with the seasons.
- Porches:** If one porch was good, then two or three were better. Recessed porches, curved bays with curved porches below, and small unusable porches were applied to facades to create "interest" and make the building seem to be larger than it actually was. All porches were covered and the roof supported by turned posts and brackets.
- Rears of Buildings:** The rears of buildings are as highly ornamented as the fronts. They are frequently irregular in shape with varied openings and roof forms.
- Additions:** Additions occur to the rear and sides of the buildings and are of many finishes and forms.

Other:

Tall chimneys with panels or decorations, eyelid dormers and small dormers in the attic. Foundations frequently of rusticated stone or brick.

3. Federal Style



Description of the Style:

The Federal style is typified by a low pitched gable or hip roof, smooth facade, large glazed areas and elliptical fanlight over the main entry with thin sidelights. Windows and doors are symmetrically placed on the facades. The basic building form is a simple rectangular box, sometimes with small symmetrical flanking additions located to the sides of the main facade. c. 1860-1870.

Examples in the District:

540 Blackstone Alley (Bilger House is the only one existing in the District).

Roof Form:

Low pitched gable roof with a wood frieze and boxed cornice returning into the gable ends. Roofing material is of corrugated metal.

Cornice:

Simple frieze with small entablature below the eaves.

Facade:

Smooth, unpainted brick.

Windows:

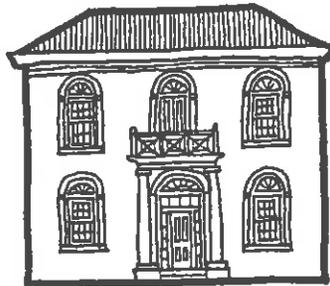
Large glazed areas, with four part transom over the entry door with flanking three part sidelights. Lintel window heads, with thin muntins. Windows are symmetrically arranged on the facade. Lintels are of wood and appear very heavy. Six over six double hung windows are found on the ground floor and nine over nine double hung windows on the second floor.

Shutters:

None.

Doors:	Main entry to the left on the main facade with a four panel door.
Exterior Ornamentation:	No ornament is found on the exterior, although sometimes small cast decoration is found in the entablature.
Exterior Colors:	Natural brick with white trim.
Landscaping:	The building generally sits with no landscaping directly adjacent to it, as if on a platform.
Porches:	Small uncovered front porch the width of the front door and sidelights. The porch is up only a few steps from the ground.
Rears of Buildings:	Rears of buildings generally have symmetrically located openings.
Additions:	Additions should be wood or unpainted brick with a shed roof. Openings generally symmetrically placed on each facade. Addition should be located to the rear of the main building.
Other:	A broad brick chimney is located at the roof ridge. The foundations are brick.

4. Italian Villa Style



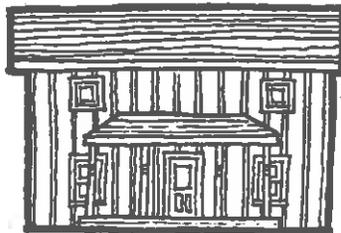
Description of the Style:

A simple rectangular building mass with a symmetrical facade. Smooth and uniform wall surfaces of stucco or brick, with a roof that is gabled, hipped or both. The eaves may project considerably and may be supported by brackets. Frequently, a cupola or glazed belvedere is found on a projecting tower at one corner of the main building.

Examples in the District:	465 East California Street, and 470 North 5th Dowell House.
Roof Form:	Hipped or gable roof sometimes found with a belvedere or cupola.
Cornice:	Projecting away from the wall often supported by brackets.
Facade:	Smooth, of stucco or brick.
Windows:	Typically round-headed and they are often grouped in twos or threes, sometimes with hood moldings or pediments above.
Shutters:	None.
Doors:	Multi-panel doors, with four or six panels and a substantial surrounding frame.
Exterior Ornamentation:	Little aside from the window and door hoods and pediments.
Exterior Colors:	Light hues such as buff, or tan with darker accent trim and sash colors such as dark green or blue-grey.
Landscaping:	The buildings are frequently freestanding with landscaping set away from the building, with low plants established symmetrically to the sides of the main entry. Trees are located to the sides or rear of the property.
Porches:	Frequently they have round columns supporting a flat balcony above with decorative railing.
Rears of Buildings:	Rears of buildings are treated casually with asymmetrically placed openings.
Additions:	Additions occur to the sides and rears of buildings with shed, hip or gable roofs. Additions are located asymmetrically on the main building and may be of different materials than the house.

Other: Chimneys are generally located along ridges, inset from the exterior faces or to the rear of the building.

5. Board and Batten Style



Description of the Style: Variation of the vernacular style listed above in #1. The primary difference is a facade of vertical boards whose joints are covered with narrower vertical battens. The roof is a simple gable steeply pitched.

Examples in the District: 105 East D Street (Lewis/Keegan House), 655 South 3rd Street.

Roof Form: Simple gable form covered with wood shingles, steeply pitched.

Cornice: None, eave ends covered with narrow bargeboards.

Facade: Vertical board and batten. Narrow corner boards.

Windows: Simple double hung, one over one or four over four windows with wide plain flat trim.

Shutters: None.

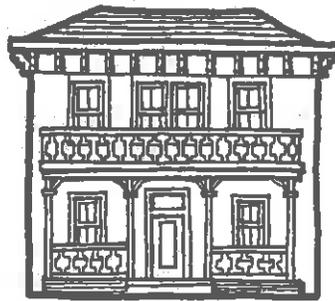
Doors: Simple four or six panel doors.

Exterior Ornamentation: None, since the board and batten pattern serves as the primary focus for the facade.

Colors: Natural wood colors without paint, fading contributes to the character of this style. When painted, the facade are of brown and earth tones such as sienna and umber brown.

- Landscaping:** Simple low shrubs and trees set away from the building.
- Porches:** Simple porch extending beyond the lower floor windows flanking the front door raised one or two steps up from the ground with a hipped roof supported by simple posts.
- Rears of Buildings:** Simple board and batten siding.
- Additions:** Board and batten or plain horizontal siding.
- Other:** Board and batten houses are a remnant of the early era in Jacksonville, and are not frequently found. Simple short chimney is located at the center of the ridge line.

6. Italianate Style

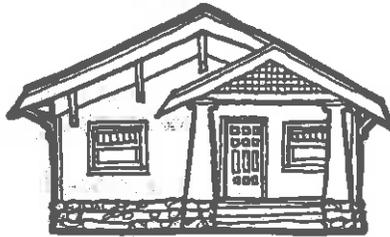


- Description of the Style:** The style is a rectangular, and sometimes nearly square building with broad eaves supported by overscaled regularly spaced brackets under a hipped roof. The building has a formal symmetry and centrally located entry and porch.
- Examples in the District:** 312 South Oregon (Helms House).
- Roof Form:** Gentle hipped roof, frequently hidden from view by the broad overhang of the eaves.
- Cornice:** Large brackets under the eaves set directly onto the facade or on a broad frieze.
- Facade:** Smooth, of stucco or wood siding with little ornamentation and narrow corner boards.

Windows:	Tall double hung window frequently with round or arched heads and pronounced head moldings and trim. Double hung windows, one over one, or six over six sash.
Shutters:	Louvered shutters are sometimes found although not on all buildings.
Doors:	Double front doors with central glazed panels often of beveled glass.
Exterior Ornamentation:	The smooth flat facade is set off by window and door moldings (where they exist) and by window and door trim and frieze.
Exterior Colors:	Pale creams, white and warm soft peach colors are frequently used for the building color and more intense warm creams and browns are used for accent and sash colors. Dark green and deep red or terra cotta are also used for doors and sash.
Landscaping:	Buildings are set off from landscaping although small shrubs are found to the sides of the entry porch and around the sides and rear of the building. Taller plants are symmetrically arranged on facades to accentuate the symmetry of the building.
Porches:	Covered porches with turned posts supporting a cornice and small brackets below a balcony with an ornamental railing or a low pitched hip or flat roof. Railings may have plain or turned balusters. The porch may extend only the width of the entry door or the full width of the main facade. The first floor is generally up four to five feet above ground and the porch is reached by broad wood stairs.
Rears of Buildings:	The rears of buildings are symmetrical and have the same tall windows and entries as the front facades.
Additions:	Additions are found to the rear and sides with symmetrically placed openings. The materials are generally the same as the main building and they have low pitched hipped or shed roofs. Frequently additions have broad overhangs with small brackets below, similar in design to the main building.

Other: Chimneys are tall and may have elaborate caps and may be located on the exterior facade or along a ridge line.

7. Craftsman Style



Description of the Style:

Roofs are broad with a gentle pitch projecting eaves and rafters and purlins projecting beyond the eaves frequently supported by diagonal struts or brackets of straight stickwork. A lower gable roof usually covers an open or screened in porch with a larger gable above over the main form of the house. The bungalow was developed as a simple inexpensive and functional house in contrast to earlier houses where servants were prevalent.

Examples in the District:

455 North Orange Street (Tou Vele House).

Roof Form:

Gently pitched roofs with broad overhangs at both the gable and eaves, ridge boards often extend beyond the edge of the roof and are supported by straight brackets.

Cornice:

No cornice, as all bungalows have gently pitched roofs. Gables frequently have broad bargeboards that extend beyond the roof and rafters that extend beyond the eaves giving rhythm regularity to the edge of the roof.

Facade:

Wood siding or shingles are the primary facade covering and are used to cover the entire house. Stucco and brick are also seen as facade covering. Frequently wood siding is used between the first floor level and ground and shingles or stucco is then used above. Stucco can have a very rough texture.

- Windows:** Double hung sash, one over one or two over two. Casement windows found with double hung windows and are often used to each side of a double hung or fixed window.
- Shutters:** None.
- Doors:** Front doors are typically five panel doors although four and six panel doors are sometimes found. Single panel doors with a beveled glass insert above flat stickwork are also frequently seen.
- Exterior Ornamentation:** The siding material and brackets, stickwork and cross-bracing are the ornament of this style of house.
- Exterior Colors:** Earth tones, such as sienna and umber browns, plumb red, and cream, are the primary colors used for trim and stucco areas. Dark and light olive are used for trim and accent colors. Shingles and woodwork are often left to weather naturally.
- Landscaping:** Low landscaping directly against the building, around the front of the building. Naturalistic designs are used in an attempt to bring the building back into nature.
- Porches:** Porches are one of the strongest designs elements of the Bungalow style, with broad covered and screened porches running the width of the front facade. The porch roof is frequently supported by broad squat columns sometimes battered or tilted to be wider at the base than the top. The columns appear at the corners of the porch and at the top of the stairs which are frequently very broad, extending a quarter to half the width of the porch.
- Rears of Buildings:** Rears are treated informally with simple double hung windows irregularly positioned on the side and rear facades to meet the functional needs of the spaces inside. Dining rooms sometime have broad gentle bay windows with shed roofs above.

Additions: Additions are found to the sides and rears of bungalows with shed roofs pitched up the the main building. Some 1-1/2 story buildings have found usable second floor space by adding a shed dormer running the full width of the rear side of the house. Dormers have a very low pitch and meet the main roof at the ridge or very close to it.

Other: Foundations, front porch railings, posts and fireplace chimneys are frequently constructed of clinker brick or river boulders, with larger stones at the base and smaller stones above. These elements frequently taper from the ground upwards ("battered").

8. Classical Revival Style



Description of the Style:

Three variations, "L" Plan, Rectangular, "T" Plan. Rectangular box with gable roof, frequently with lower wings, also with gable roofs. Clapboard or channel siding and narrow corner boards. Symmetrical facade with tall windows.

Examples in the District:

240 East California Street (McCulley House), 460 East G Street, 220 North 8th Street, 535 East C Street.

Roof Form:

Gable roof, frequently with steep pitch covered with wood shingles.

Cornice:

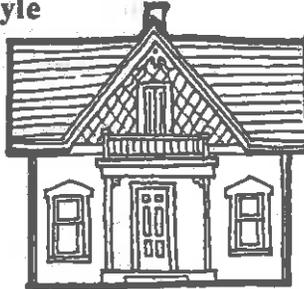
Broad gable end and eave boards with boxed cornice returning to the gable ends.

Facade:

Channel drop siding or clapboards with corner boards.

Windows:	One over one, three over one , or six over six double hung windows are all found with board, simple trim.
Shutters:	Louvered wood shutters, or none.
Doors:	Doors generally centered on the facade, some with three light transoms and three part sidelights on each side of the door.
Exterior Ornamentation:	The cornice boards and narrow corner boards form the primary ornamentation although turned or chamfered posts on porches and railings are sometimes used.
Exterior Colors:	White with dark green shutters.
Landscaping:	Low shrubs or planted beds adjacent to the buildings, and taller trees to the sides and rear.
Porches:	Shed roof or balconies above porches with square posts, frequently with chamfered edges. The porch sometimes turns the corner of the building running along the length and turning to run along one end of the house. Balcony railings have rectangular corner newel posts and simple balusters.
Rears of Buildings:	Sides and rears of buildings are similar to the main facade, with shed or gable roofs turned 90 degrees to the main house.
Additions:	Additions have shed roofs with low pitch, with siding and corner boards similar to the existing siding. Additions are located to the side and rear of the buildings.
Other:	Chimneys are of brick, thick and massive, located along the ridge line near to the end walls.

9. Gothic Revival Style



Description of the Style:

Easily recognized by steeply pitched roofs, wall dormers, hood molds over the windows and a curvilinear gingerbread trim along the eaves and gable ends. The windows vary greatly, some have square double hung windows and lancet windows intermixed with them. Walls covered with clapboards, drop siding or stucco. The building plan is typically rectangle with the gable running the length of the building and a cross gable running 90 degrees to the main gable at the middle of the building.

Examples in the District:

635 and 810 South 3rd Street.

Roof Form:

Steeply pitched gable roof with intersecting gable roof forms generally located symmetrically on the facade.

Cornice:

Gable ends have broad or narrow bargeboards.

Facade:

Flat, of wood drop or clapboard siding, or of stucco.

Windows:

Narrow rectangular double hung windows, four over four, or six over six with narrow trim.

Shutters:

None.

Doors:

Four or six panel doors.

Exterior Ornamentation:

The gingerbread trim is unique to the Gothic Revival house, although many have simple wide boards at the ends of the gables.

Exterior Colors:	White facades with white trim or green trim with dark green or dark grey sash.
Landscaping:	Low against the house frequently symmetrically arranged around the front facade.
Porches:	Small entry porch with balcony above. Balcony railing is simple with newel posts and simple balusters. Balcony is generally the width of the projecting front gable and has a centrally located window opening out onto the balcony.
Rears of Buildings:	Symmetrically arranged openings and trim similar to the front facade.
Additions:	Additions are found primarily to the rears of buildings, occasionally small additions are made to the side gable facades with shed roofs. Siding is similar to the material found on the main building.
Other:	The Gothic Revival style is a very picturesque style, which the landscaping, fences, and other site improvements should reflect.

C. New Residential Buildings

The following section describes individual building elements (such as cornice, window, etc.) and how these elements should be treated when constructing new residential buildings.

Roof Form:	Generally a simple gable or hipped roof will blend well with any adjacent buildings.
Cornice:	A simple flat cornice extending out approximately twelve inches with frieze below of about eighteen inches.
Facade:	Stucco, brick or wood siding are appropriate. Medium width corner boards should be used if drop, rustic or channel siding is used, or narrow boards if clapboards are used.
Windows:	Double hung, one over one, or two over two with simple flat trim.
Shutters:	None.

- Doors:** No additional ornamentation beyond that found in window and door trim, cornice and roof trim.
- Exterior Ornamentation:** No additional ornamentation beyond that found in window and door trim, cornice and roof trim.
- Exterior Colors:** Use white or light cream for painted facades dark green or grey for sash, and a medium color for trim and accents from one of the city approved color list.
- Landscaping:** Keep landscaping low near the the building using flowers or low shrubs with the larger plants away from the building towards the property lines.
- Porches:** Simple covered porch with hip or shed roof with square posts and simple handrailings.
- Rears of Buildings:** Irregular openings located to meet the requirement of the interiors of the building.
- Additions:** Additions should be made of the same or similar materials and colors as the main building and should not dominate the main building. They should be slightly smaller in width than the facade of the main building to which they connect.
- Other:** New buildings should fit in and work well with the existing buildings surrounding them. New buildings should not overwhelm their neighbors, nor compete for attention.

VIII. GUIDELINES FOR AREAS OUTSIDE OF THE NATIONAL HISTORIC LANDMARK AREA

A. Existing Building Guidelines

See Section VII.B. Individual Residential Building Guidelines for requirements.

B. New Building Guidelines

The following section describes individual building elements (such as cornice, windows, etc.) and how these elements should be treated on new residential buildings constructed outside of the NHLD.

Roof Form:	Generally a simple gable or hip roof to blend well with nearby buildings.
Cornice:	If a cornice is used it should be a simple, flat cornice extending out approximately six to twelve inches with frieze below of between twelve to eighteen inches.
Facade:	The facade should be similar to facades found on nearby buildings. Stucco, brick or wood siding are appropriate. Medium width corner boards should be used if drop, rustic or channel siding is used, or narrow corner boards if clapboards are used.
Windows:	Double hung one over one or two over two, sliding, or casement windows with simple flat trim.
Shutters:	None, or louvered wood shutters.
Doors:	Panel doors with one to six panels for the main entry doors(s) and one to five panels for other exterior doors.
Exterior Ornamentation:	No additional ornamentation beyond that found in window and door trim, cornice and roof trim.
Exterior Colors:	Use white or light cream for painted facades dark green or grey for sash, and a medium color for trim and accents from one of the city approved color list.

- Landscaping:** Keep landscaping low near the the building using flowers or low shrubs with the larger plants away from the building towards the property lines.
- Porches:** Simple covered porch with hip or shed roof with square posts and simple handrailings.
- Rears of Buildings:** Irregular openings located to meet the requirement of the interiors of the building.
- Additions:** Additions should be made of the same or similar materials and colors as the main building and should not dominate the main building. They should be slightly smaller in width than the facade of the main building to which they connect.
- Other:** New buildings should fit in and work well with the existing buildings surrounding them. New buildings should not overwhelm their neighbors, nor compete for attention.

APPENDIX A

GLOSSARY OF TERMS USED

Anodized	A finish used on aluminum that is bonded with the surface of the aluminum.
Architrave	The lower part of a classical entablature, directly above the capital of a column; the moulding around a window or door.
Baluster, balustrade	A shaped, short vertical member, often circular in section, supporting a railing or capping; (pl) the composite form involving a series of balusters.
Bargeboard	A board, typically, decorated in the sloping edge of an overhanging gable roof.
Batter	The inward slope of the face of a wall from the bottom to the top, found in Craftsman Bungalow walls and columns.
Bay	A regularly repeated main division of a building design.
Belvedere	A small look-out tower with a view on the roof of a house.
Board and batten	A type of vertically applied siding composed of wide boards and narrow battens nailed over the open spaces between the boards.
Bracket	A projecting support placed under an architectural overhang such as a cornice; often ornate, and popular on Victorian buildings.
Bulk	The size of a building, measured not only by its volume, but by the magnitude of its external dimensions; in a design context, the apparent size of a building from different viewing points.
Capital	The top part or head of a column; see also orders.
Casement	A window sash that swings open along its entire length; usually hinged on the side of the wall opening.
Clapboard	A long narrow board with one edge thicker than the other, overlapped horizontally to cover the outer walls of a frame structure.
Cornice	In classical architecture, the upper, projecting section of an entablature; also, a projecting ornamental moulding along the top of a building or wall.

Cresting	A decorative ridge for the ridge of a roof, usually a continuous series of spikes or finials.
Cupola	A dome or small structure built on top of a roof.
Dormer	A vertical window on a sloping roof; also, the roofed structure housing such a window.
Double Hung Window	A window with two sash, one above the other, arranged to slide vertically past each other. The terms "one over one" or "four over four" refer to the number of lights or panes of glass in the upper and lower sash respectively.
Drop siding	An exterior wall covering of horizontal boards cut with a grooved recess on the inside lower edge to overlap the top edge of the piece below, providing a weather seal.
Eaves	The projecting overhang at the lower edge of a roof.
Entablature	In classical architecture, the part of a structure between the column capital and the roof or pediment; comprised of the architrave, frieze and cornice.
Eyebrow dormer	A dormer, usually small in size, with a roof line above the face of the wall which is a gentle arch curve turning into a reverse curve to meet the horizontal main roof at either end.
Facade	The whole exterior side of a building that can be seen in one view.
Fascia, fascia board	A flat member or band at the surface of a building or the exposed eave of a building.
Fenestration	Referring to the windows in a building.
Finial	A terminal decorative form at the top of a spire, gable, or uppermost extremity of a pinnacle or gable.
Flash glass	Decorative glass with variations in color and thickness used as decorative glazing above or surrounding a clear window light.
Frieze	A decorative band at the top of a wall.
Gable	The end of a building distinguished from the front or rear side. The triangular wall segments at the end of a double pitch or gable roof.

Hood moulding	The projecting moulding over the head of an arch over a window or door opening.
Mullion	The division between multiple windows or screens.
Muntin	Thin vertical bars that divide lights in a window or panels in a door.
Orders	A column and its entablature considered as a unit of style in architecture such as those used by the ancient Greeks.
Parapet	The protective railing or low wall along the edge of a roof, balcony, bridge, or terrace.
Pediment	A triangular member resembling a gable, crowning the front of a structure or over doors and windows, usually low in height compared with the width of its base.
Pendant	The name given to an elongated decorative member hanging down from the intersection of the ends of beams or other structural members.
Purlin	A horizontal member resting on trusses supporting the roof rafters above.
Sash	The frame in which window lights are set.
Swag	A decorative piece in the form of a piece of cloth draped over two supports, frequently found on bands on the exteriors of buildings.
Veranda	An open portico, sometimes two-storied, usually roofed, which is attached to the exterior of a building. Commonly called a porch.
V Rustic siding	A type of horizontal wood siding which has shiplap joints similar to drop siding.

APPENDIX B

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